

SOCIAL HOUSING

ADDRESS:
CLIENT: Department of Energy & Public Works
(On behalf of Department of Communities, Housing & Digital Economy)



Qbuild, Department of
Energy & Public Works

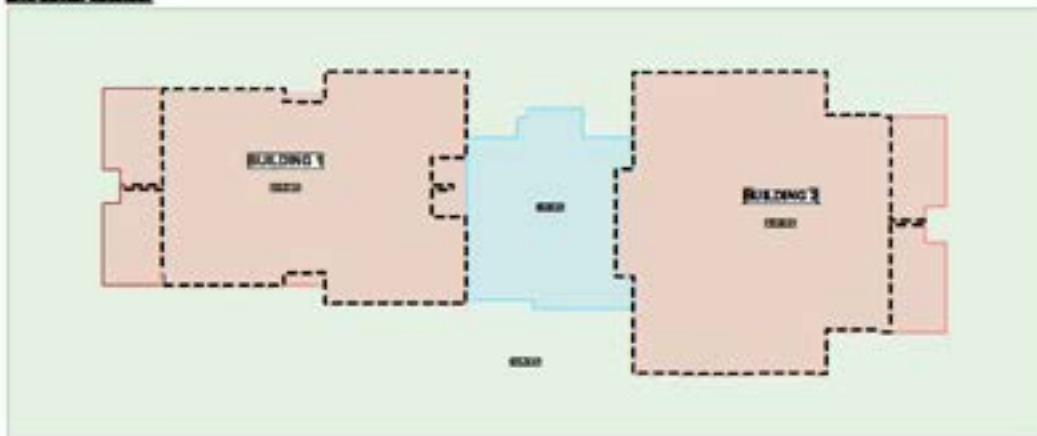
DEVELOPMENT DATA	
LOT:	LOT 32 RP47041
PARISH:	CANNING
COUNTY:	CANNING
LOCAL AUTHORITY:	MORETON BAY REGIONAL COUNCIL
SITE AREA:	975.29sqm
PROPOSED DEVELOPMENT:	
STOREYS:	2
TOTAL APARTMENTS:	7
PARKING:	7 (INCL 2 x PMV)
ACCOMMODATION:	
GROUND:	2 X 2 BED (PLATINUM), 1 X 1.5 BED (GOLD)
LEVEL 1:	2 X 2 BED (GENERAL), 2 X 1.5 BED (GENERAL)
GFA:	
GROUND:	231 sqm
LEVEL 1:	296 sqm
TOTAL GFA:	527 sqm

General Notes and Disclaimer.
Construction to be TYPE B FIRE RESISTING CONSTRUCTION
in accordance with NCC Specification C1.1

All construction is to be carried out in accordance with the current
edition of the NCCS, Building Code of Australia and current
Australian Standards and Codes and the Contract Documents.
Check all levels, details and dimensions on site prior to
commencing work. Do not scale from drawing.

Termite protection to be in accordance with AS 3680.1.
Balustrade and handrails to comply with AS 1428.1 and the BCA.
Smoke detectors to be installed to comply with AS 1603.2
Glazing to comply with AS 1288.
Connect downpipes to street channel or stormwater system.
Insulation to comply with BCA Energy Efficiency Requirements.

SITE COVER DIAGRAM



SCHEMATIC DESIGN 87906PRIN1

7 x Apartments comprising:
2 x 2 Bed (Platinum), 1 x 1.5 Bed (Gold), 2 x 2 Bed (General), 2 x 1.5 Bed (General)

CONSULTANT TEAM

ARCHITECT:
Wallaceby Architecture

CIVIL:
ACOR Consultants

STRUCTURAL:
ACOR Consultants

BUILDING CERTIFICATION SERVICES:
Professional Certification Group

ELECTRICAL:
Walkerbell Consulting

TOWN PLANNING

RPO: LOT 32 RP47041
PLANNING SCHEME: Moreton Bay Regional Council Planning Scheme
ZONING: General Residential Zone - Suburban Neighbourhood Precinct

SITE AREA: 975.29sqm
SITE COVER: 412.75m² (42.3%)

MAX HEIGHT: 8.5m
MAX DENSITY: 75 DWELLINGS / HECTARE
MAX SITE COVER: 50%

FRONT SETBACK PROVIDED: 4.5m (to OMP)
FRONT SETBACK REQUIRED: 3m (to OMP), 4.5m to wall

SIDE SETBACK PROVIDED: 3M (to OMP)
SIDE SETBACK REQUIRED:
- Less than 4.5m: 1.5m to OMP and Wall
- 4.5m to 8.5m: 2m to OMP and Wall
- Greater than 8.5m: 2m up to 8.5m plus 0.5m for every 3m in height or part thereof over 8.5m

REAR SETBACK PROVIDED: 4.8m (to OMP)
REAR SETBACK REQUIRED: Same as Side Setback

COMMUNAL OPEN SPACE PROVIDED: 19.55m²
COMMUNAL OPEN SPACE REQUIRED: No Requirement

PRIVATE OPEN SPACE PROVIDED: 439.3m² Total (Min 12m² / Apartment Provided)
PRIVATE OPEN SPACE REQUIRED: 86m² Total (Min 12m² / Apartment Required)

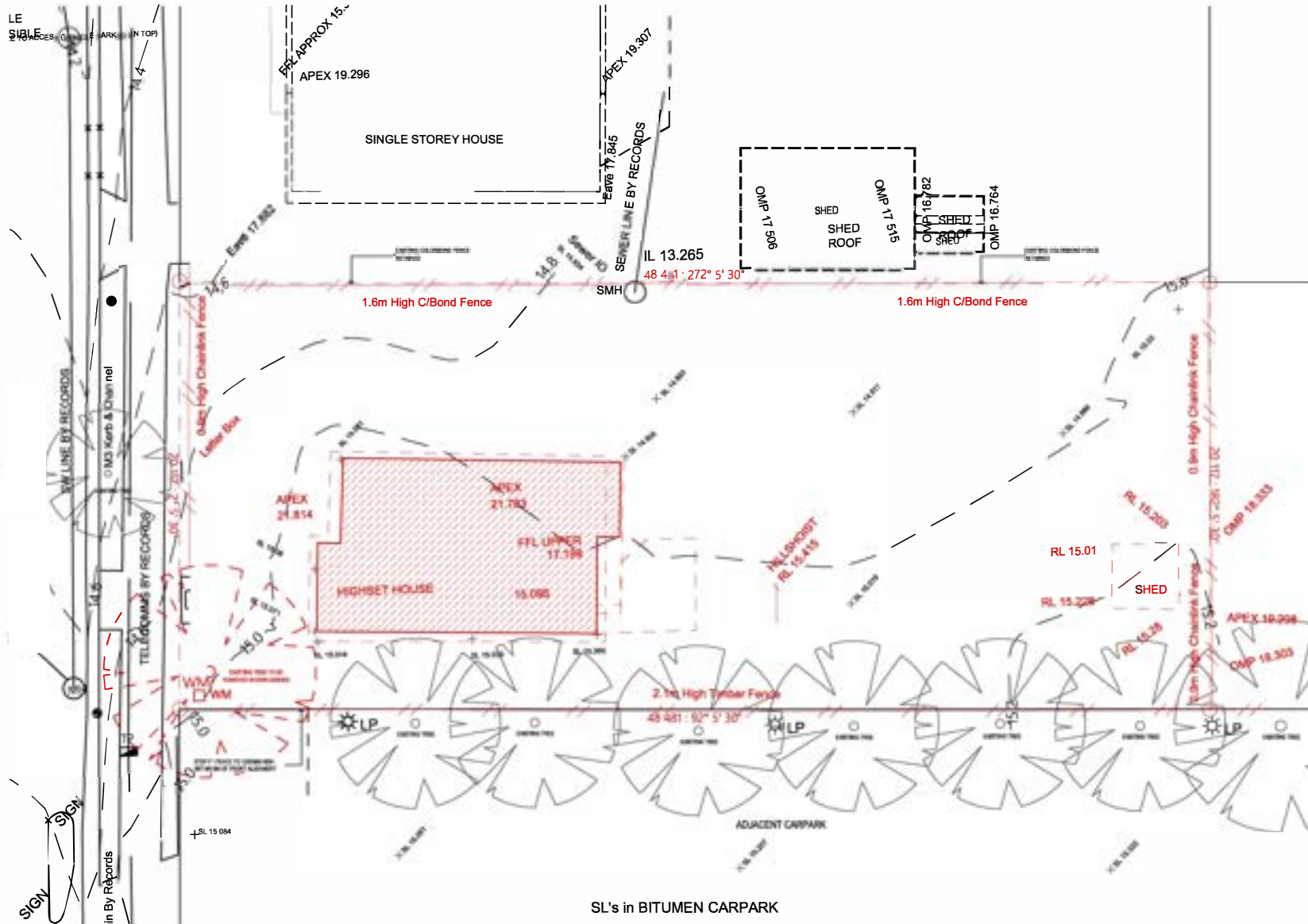
SHEET INDEX

DRAWING NO.	DESCRIPTION	REV	ISSUED	PUBLISHED
A01.01	EXISTING/DEMOLITION PLAN	00	04/03/21	04/03/21
A01.02	PROPOSED SITE / EXTERNAL WORKS PLAN	00	04/03/21	04/03/21
A01.03	SITE CIRCULATION PLAN	00	04/03/21	04/03/21
A01.04	PRIVATE OPEN SPACE PLAN	00	04/03/21	04/03/21
A01.05	PRIVATE OPEN SPACE PLAN LEVEL 1	00	04/03/21	04/03/21
A03.01	FLOOR PLAN GROUND	00	04/03/21	04/03/21
A03.02	FLOOR PLAN LEVEL 1	00	04/03/21	04/03/21
A03.03	ROOF PLAN	00	04/03/21	04/03/21
A03.04	FLOOR PLAN GROUND-DIMENSIONED	00	04/03/21	04/03/21
A03.05	FLOOR PLAN LEVEL 1-DIMENSIONED	00	04/03/21	04/03/21
A03.06	TYPICAL LAYOUT PLATINUM & GOLD	00	04/03/21	04/03/21
A03.07	TYPICAL LAYOUT GENERAL 1.5 & 2	00	04/03/21	04/03/21
A05.01	ELEVATIONS	00	04/03/21	04/03/21
A05.02	ELEVATIONS	00	04/03/21	04/03/21
A05.03	3D VIEWS	00	04/03/21	04/03/21
A06.01	SECTIONS	00	04/03/21	04/03/21



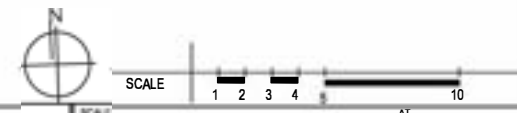
AERIAL VIEW





DEMOLITION LEGEND	
	FENCE TO BE DEMOLISHED
	ELEMENTS TO BE DEMOLISHED
	ELEMENTS TO REMAIN

1. EXISTING/DEMOLITION SITE PLAN
Scale 1:200



AMENDMENTS

ISSUE	DATE	SUBJECT	BY
03	04/03/21	SCHEMATIC DESIGN ISSUE	JLW

DRAWING INDEX SYSTEM

☐ FOUNDATION/FOOTING/PILE PLAN	☐ FLOOR/FOOTING/PILE DETAILS
☐ FLOORS/LAB FRAMING PLAN	☐ SLAB DETAILS
☐ HD BOLTS/ANCHORS/CAST IN PLACE	☐ FLOOR DETAILS (STEEL/TIMBER)
☐ SLAB PLAN/STAIRS etc	☐ BEAMS REINFC. CONC. ELEVATIONS
☐ SLAB REINFORCEMENT PLAN	☐ CONCRETE COLUMN DETAILS
☐ WALL PLAN	☐ BLOCKWALL DETAILS
☐ CEILING PLAN/DETAILS	☐ WALL BRACING DETAILS
☐ ROOF PLAN/ELEVATIONS/SECT LINES	☐ WALL DETAILS
☐ STAIRS/DECK STRUCTURES & LINES	☐ STAIR RAMPS/PLATFORM DETAILS
☐ STANDARDS	☐ ROOF DETAILS
☐ NOTES	☐ DETAILS OTHER

Queensland Government
Department of Communities, Housing and Digital Economy

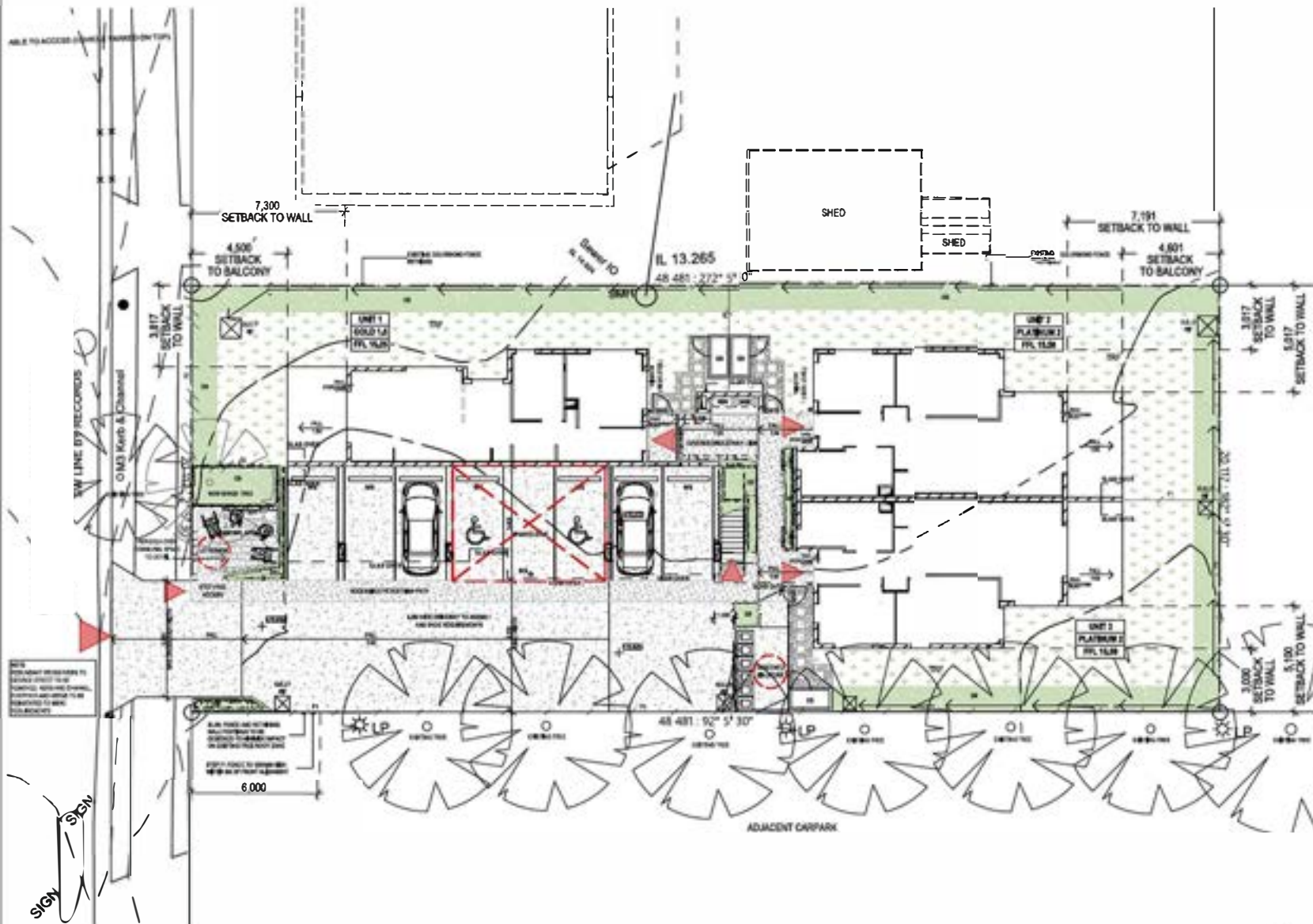
DRAWN	DATE
DUSTIN CZOK	5/03/2021
DISCIPLINE TEAM LEADER	DATE
JOSHUA WALLACE	5/03/2021
AUTHORISED FOR ISSUE	DATE
	5/03/2021

wallacebrice {architecture}
suite 1/level 5, 80 petrie terrace, brisbane qld 4000
t: +61 7 3129 5719 / f: +61 7 3876 2462
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Structural Engineer: Civil Engineer Hydraulic Services
ACOR Consultants
Electrical Consultant: WalkerBai Consulting
Certifier (Building Surveyor): Professional Certification Group
Environmental Consultant: Anderson Energy
Landscape Architect: Laud Ink

SOCIAL HOUSING
7 x Apartments comprising
2 x 2 Bed (Platinum), 1 x 1.5 Bed (Gold),
2 x 2 Bed (General), 2 x 1.5 Bed (General)
EXISTING/DEMOLITION

SCALE	1:200, 1:100	AT	10
MASTER SITE NUMBER	56391	CLIENT REFERENCE NUMBER	87906PRIN1
DRAWING NUMBER	87906/SD/A01.01	ISSUE	P3
		SHEET NO	1



LEGEND	
BOL	BOLLARD
BR	BROOM CUPBOARD
DR	DRYER
F1	FENCE TYPE 1 - 1.8M HIGH
F2	FENCE TYPE 2 - 1.5M HIGH
	VERTICAL HWD TIMBER BATTEN
	FENCE TO DETAIL, NO LESS THAN 60% TRANSPARENT TO MBRC REQ'S
GB	GARDEN BED
GS	GARDEN SHED
UN	UNIT CUPBOARD
LP	LIGHTPOLE
MPR	MULTIPURPOSE ROOM
SMH	SEWER MAN HOLE
W	WASHER
WS	WHEEL STOP

CB	CONCRETE BROOM FINISH
CP	CARPET
FT	FLOORTILE
MA	MARMOLEUM

	NEW LIGHTWEIGHT PARTITION
	NEW BLOCKWORK WALL
	FENCE TYPE 1 - 1.8M HIGH
	FENCE TYPE 2 - 1.5M HIGH

	WHEELCHAIR TURNING SPACE
	POINT OF ENTRY
	PWD CARPARKS

	PROPOSED FEATURE SHRUB
	PROPOSED FEATURE CLIMBER
	COLoured CONCRETE
	PROPOSED GARDEN BED
	PROPOSED TURF AREAS
	PROPOSED PAVERS

NOTE: INDICATIVE ONLY - CONTRACTOR/CONSULTANT TO VERIFY SITE CONDITIONS SHOWN ON THIS DRAWING WITH CONTOUR AND DETAIL SURVEY AND ACTUAL SITE CONDITIONS.

1. SITE PLAN
Scale 1:200

AMENDMENTS		
BSU#	DATE	SUBJECT
03	04/02/21	SCHEMATIC DESIGN ISSUE

DRAWING INDEX SYSTEM FOR BUILDING USE ONLY	
☐ POLY/CATCH FOOTING/SLAB PLAN	☐ FOUNDATION/PIPING DETAILS
☐ FLOOR/SLAB FRAMING PLAN	☐ BALCONY DETAILS
☐ H/BOULTS/ANCHORS/CAST-IN PLAN	☐ ROOF/DECK/CLIMBER/STAIRS
☐ SLAB PLAN/REINFORCEMENT PLAN	☐ ROOF/DECK/CLIMBER/STAIRS
☐ WALL PLAN	☐ WALL DETAIL
☐ CEILING PLAN/DETAILS	☐ STAIR/RAMP/PLATFORM DETAILS
☐ ROOF/DECK/CLIMBER/STAIRS	☐ ROOF DETAIL
☐ SHED/DECK/STRUCTURES & LINKS	☐ DETAILS OTHER
☐ STANDARDS	
☐ NOTES	

Queensland GOVERNMENT
Department of Communities, Housing and Digital Economy

DRAWN	DATE
DUSTIN CZOK	5/03/2021
DISCIPLINE TEAM LEADER	DATE
JOSHUA WALLACE	5/03/2021
AUTHORISED FOR ISSUE	DATE
	5/03/2021

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Suite 1/level 5, 80 Petrie Terrace, Brisbane QLD 4000
t: +61 7 3329 5719 / f: +61 7 3876 2462
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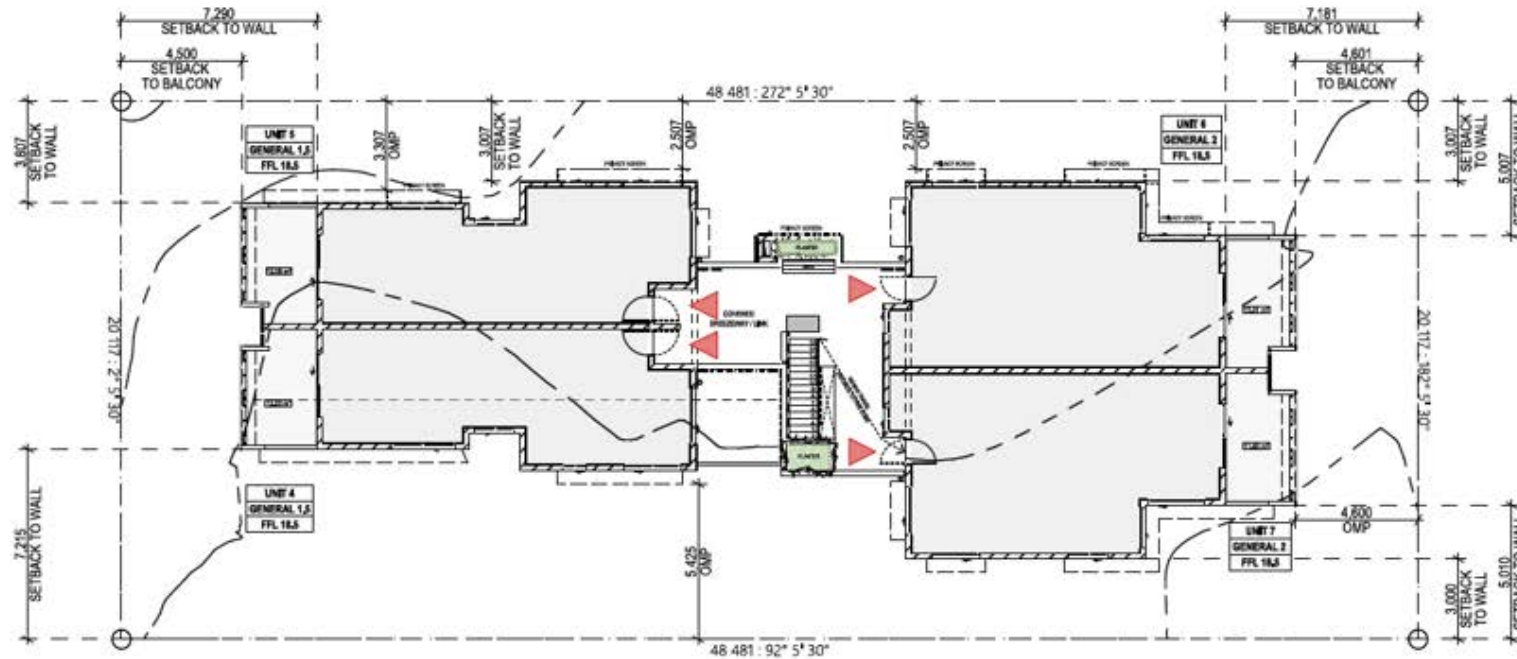
Structural Engineer, Civil Engineer, Hydraulic Services
ACOR Consultants
Electrical Consultant Walker&ai Consulting
Certifier (Building Surveyor) Professional Certification Group
Environmental Consultant Anderson Energy
Landscape Architect Laud Ink

SOCIAL HOUSING
7 x Apartments comprising:
2 x 2 Bed (Platinum), 1 x 1.5 Bed (Gold),
2 x 2 Bed (General), 2 x 1.5 Bed (General)

PROPOSED SITE / EXTERNAL WORKS PLAN

SCALE 1:200, 1:100 AT 10

MASTER SITE NUMBER	A3 SIZE	
56391	CLIENT REFERENCE NUMBER	
	87906PRIN1	
DRAWING NUMBER	ISSUE	SHEET NO
87906/SD/A01.02	P3	2



LEGEND	
BOL	BOLLARD
BR	BROOM CUPBOARD
DR	DRYER
F1	FENCE TYPE 1 - 1.5M HIGH
F2	FENCE TYPE 2 - 1.5M HIGH
	VERTICAL HWY TIMBER BATTEN
	FENCE TO DETAIL, NO LESS THAN 50% TRANSPARENT TO MBRC REQ'S
GB	GARDEN BED
GS	GARDEN SHED
LN	LINEN CUPBOARD
LP	LOCKER
MPR	MULTIPURPOSE ROOM
SMH	SEWER MAN HOLE
W	WASHER
WS	WHEEL STOP

CB	CONCRETE BROOM FINISH
CP	CARPET
FT	FLOOR TILE
MA	MARMOLEUM

	NEW LIGHTWEIGHT PARTITION
	NEW BLOCKWORK WALL
	FENCE TYPE 1 - 1.5M HIGH
	FENCE TYPE 2 - 1.5M HIGH

	WHEELCHAIR TURNING SPACE
	POINT OF ENTRY
	PWD CARPARKS

	PROPOSED FEATURE SHRUB
	PROPOSED FEATURE CLIMBER
	COLOURED CONCRETE
	PROPOSED GARDEN BED
	PROPOSED TURF AREAS
	PROPOSED PAVERS

NOTE: INDICATIVE ONLY - CONTRACTOR CONSULTANT TO VERIFY SITE CONDITIONS SHOWN ON THIS DRAWING WITH CONTOUR AND DETAIL SURVEY AND ACTUAL SITE CONDITIONS.

2. SITE SETBACKS FIRST LEVEL
Scale 1:200



SCALE 1 2 3 4 5 10 AT

AMENDMENTS		
ISSUE	DATE	SUBJECT
01	04/03/21	SCHEMATIC DESIGN ISSUE
DRAWING INDEX SYSTEM FOR BUILD USE ONLY		
☐	FLOOR PLAN	☐
☐	FLOORING	☐
☐	ROOF PLAN	☐
☐	SECTION	☐
☐	DETAIL	☐
☐	LANDSCAPE	☐
☐	MECHANICAL	☐
☐	ELECTRICAL	☐
☐	PLUMBING	☐
☐	PAVING	☐
☐	OTHER	☐

Queensland Government
Department of Energy and Public Works
On behalf of
Department of Communities, Housing and Digital Economy

DRAWN	DATE
DUSTIN CZOK	5/03/2021
DISCIPLINE TEAM LEADER	DATE
JOSHUA WALLACE	5/03/2021
AUTHORISED FOR ISSUE	DATE
	5/03/2021

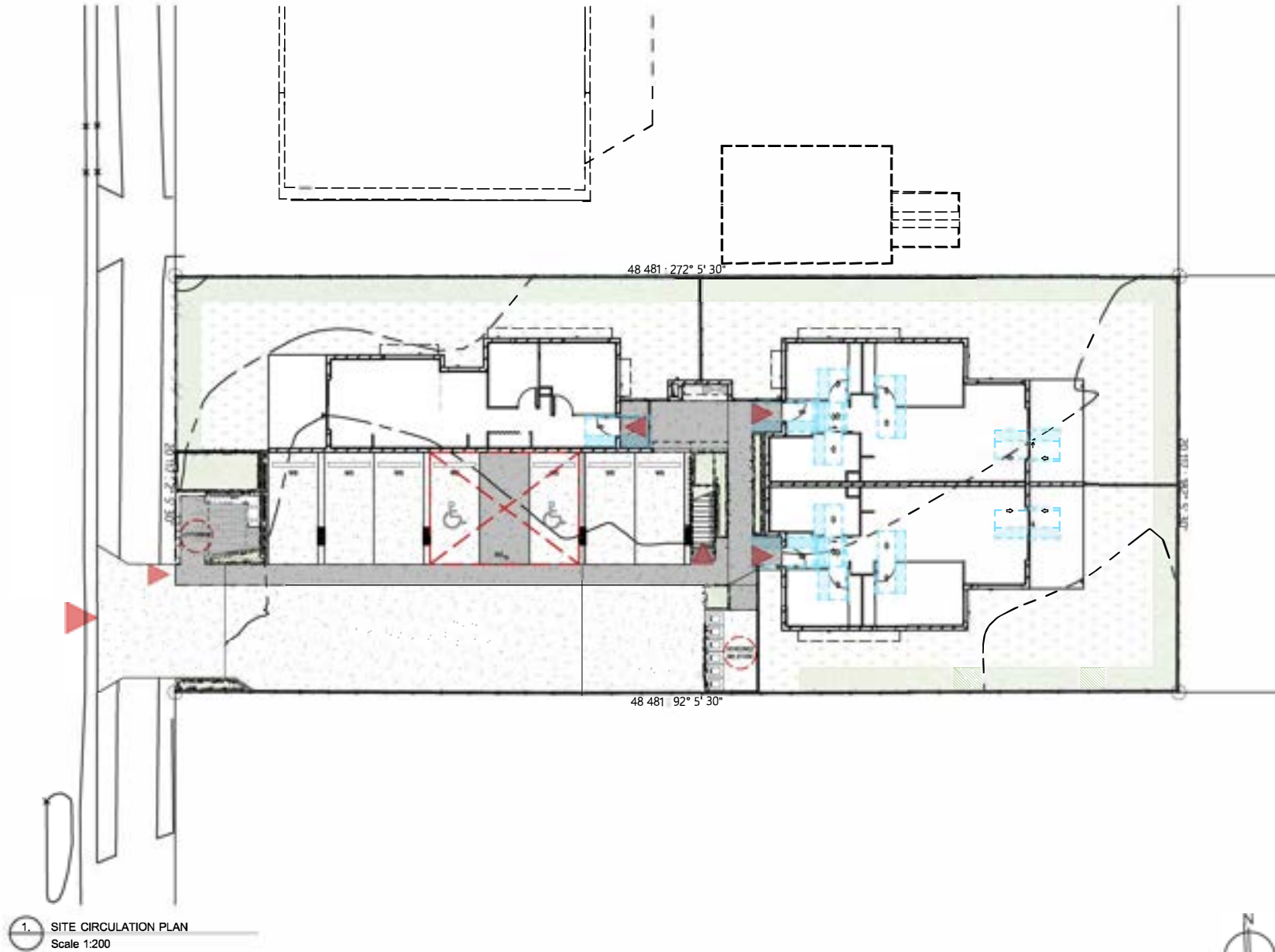
wallacebrice (architecture)
suite 1/level 5, 80 petrie terrace, brisbane qld 4002
t: +61 7 3329 5729 / f: +61 7 3876 2462
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Structural Engineer, Civil Engineer, Hydraulic Services
ACOR Consultants
Electrical Consultant Waterbair Consulting
Certifier (Building Surveyor) Professional Certification Group
Environmental Consultant Anderson Energy
Landscape Architect Laud Ink

SOCIAL HOUSING
31 George Street, Caboolture QLD 4510
7 x Apartments comprising:
2 x 2 Bed (Platinum), 1 x 1.5 Bed (Gold),
2 x 2 Bed (General), 2 x 1.5 Bed (General)
PROPOSED SITE PLAN LEVEL 1

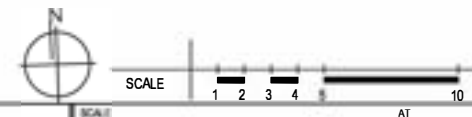
SCALE		AT	
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MASTER SITE NUMBER		CLIENT REFERENCE NUMBER	
56391		87906PRIN1	
DRAWING NUMBER		ISSUE / SHEET NO	
87906/SD/A01.03		P3 / 3	



LEGEND	
	WHEELCHAIR TURNING SPACE
	POINT OF ENTRY
	PWD CARPARKS
	PROPOSED GARDEN BED
	PROPOSED TURF AREAS



1. SITE CIRCULATION PLAN
Scale 1:200



AMENDMENTS

ISSUE	DATE	SUBJECT
03	04/03/21	SCHEMATIC DESIGN ISSUE

DRAWING INDEX SYSTEM

FOR QSOULD USE ONLY

☐ FOUNDATION/FOOTING/PILE PLAN	☐ FLOOR/FOOTING/PILE DETAILS
☐ FLOOR/SLAB FRAMING PLAN	☐ SLAB DETAILS
☐ HD-BOLTS/ANCHORS/CAST-IN PLAN	☐ FLOOR DETAILS (STEEL/TIMBER)
☐ SLAB PLAN-1st/2nd/3rd etc	☐ BEAMS/REINFC. CONC. ELEVATIONS
☐ SLAB REINFORCEMENT PLAN	☐ CONCRETE COLUMN DETAILS
☐ WALL PLAN	☐ BLOCKWALL DETAILS
☐ CEILING PLAN/DETAILS	☐ WALL BRACING DETAILS
☐ 100° PLAN/ELEVATION/SECTIONS	☐ WALL DETAILS
☐ S/IDE/MISC. STRUCTURES & LINKS	☐ STAIR/RAMP/PLATFORM DETAILS
☐ STANDARDS	☐ ROOF DETAILS
☐ NOTES	☐ DETAIL/OTHER



Queensland Government

Department of Environment and Public Works

On behalf of:
**Department of Communities,
Housing and Digital Economy**

DRAWN

DUSTIN CZOK

DISCIPLINE TEAM LEADER

JOSHUA WALLACE

AUTHORISED FOR ISSUE

5/03/2021

DATE

5/03/2021

DATE

5/03/2021

DATE

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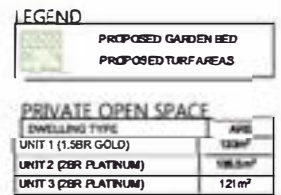
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Structural Engineer, Civil Engineer, Hydraulic Services
ACOR Consultants
Electrical Consultant WalkerBai Consulting
Certifier (Building Surveyor) Professional Certification Group
Environmental Consultant Anderson Energy
Landscape Architect Laud Ink

SOCIAL HOUSING

7 x Apartments comprising:
2 x 2 Bed (Platinum), 1 x 1.5 Bed (Gold),
2 x 2 Bed (General), 2 x 1.5 Bed (General)
SITE CIRCULATION PLAN

SCALE		AT	
1:200, 1:100		A3 SIZE	
MASTER SITE NUMBER		CLIENT REFERENCE NUMBER	
56391		87906PRIN1	
DRAWING NUMBER		ISSUE	SHEET NO
87906/SD/A01.04		P3	4



NO	DATE	SUBJECT	STATUS
1	10/10/2023	10/10/2023	NEW

DRAWING INDEX SYSTEM	
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100	10/10/2023



Department of Communities,
Housing and Digital Economy

wallacebrice

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{architecture}
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2) SOCIAL HOUSING

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Structural Engineer Civil Engineer Hydraulic Services
ACOR Consultants

Environmental Consultant, Anderson Energy
Landscape Architect Ltd 98

Keywords: child sexual abuse; disclosure; social support

JOSHUA WALLACE

AUTHORISED FOR ISSUE



SCALE

1

A3 SIZE

CLIENT REFERENCE NUMBER

87906PRIN1

SSIE | 2014-17 ND

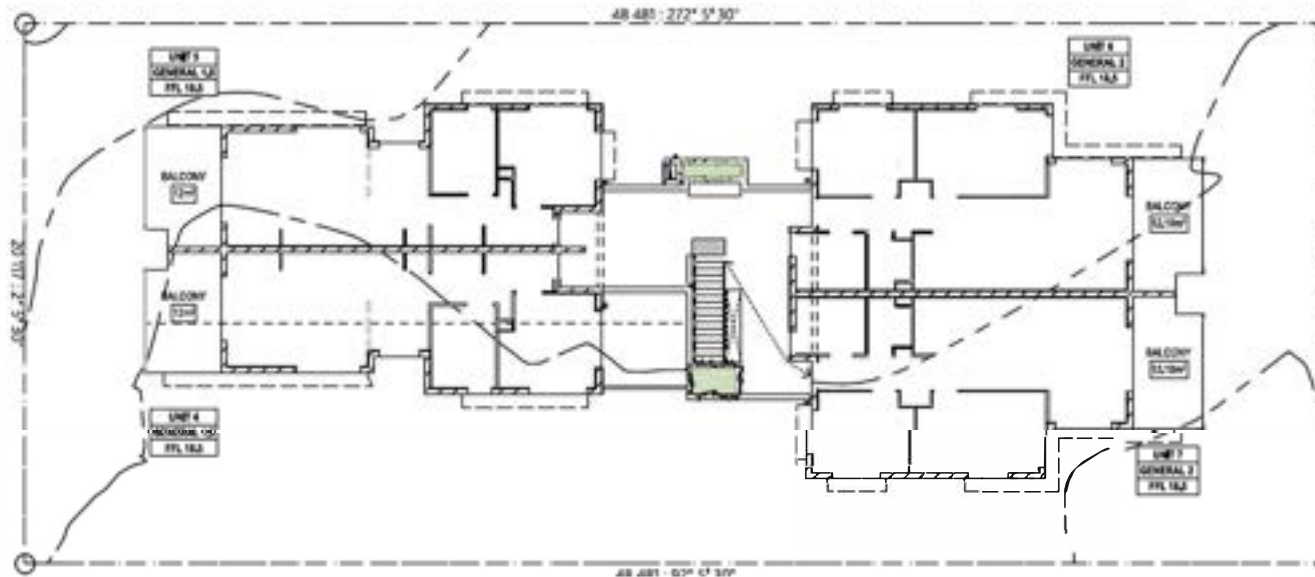
87906/SD/A01.05

P3 5



LEGEND	
	PROPOSED GARDEN BED
	PROPOSED TURF AREAS

PRIVATE OPEN SPACE	
DWELLING TYPE	AREA
UNIT 4 (1.5BR GENERAL)	12m ²
UNIT 5 (1.5BR GENERAL)	12m ²
UNIT 6 (2BR GENERAL)	12.10m ²
UNIT 7 (2BR GENERAL)	12.10m ²



2. PRIVATE OPEN SPACE FIRST LEVEL
Scale 1:200

AMENDMENTS

REVISION	DATE	SUBJECT	AUTHOR
1	5/03/2021	REVISION 1	LOW

DRAWING INDEX SYSTEM FOR BUILD USE ONLY	
☐ POLYMER CONCRETE FINISH PLAN	☐ FOUNDATION/POURING DETAILS
☐ FLOOR/SLAB FINISH PLAN	☐ FLOOR DETAILS (STEEL/TIMBER)
☐ H/OBOLTS/ANCHORS/CAST-IN PLAN	☐ BEAMS REIN. CONC. ELEVATIONS
☐ SLAB PLAN/H/OBOLTS etc	☐ CONCRETE COLUMN DETAILS
☐ SLAB REINFORCEMENT PLAN	☐ BLOCKWALL DETAILS
☐ WALL PLAN	☐ WALL BRACING DETAILS
☐ CEILING PLASTER DETAILS	☐ WALL DETAILS
☐ ROOF PLANE/ELEVATIONS/SECTIONS	☐ STAIR/RAMP/PLATFORM DETAILS
☐ SHADE/MSIC STRUCTURES & UNITS	☐ ROOF DETAILS
☐ STANDARDS	☐ DETAILS OTHER
☐ NOTES	

Queensland Government
Department of Energy and Public Works

On behalf of
Department of Communities, Housing and Digital Economy

5/03/2021	wallacebrice (architecture)
DATE	DATE
DUSTIN CZOK	DATE
DISCIPLINE TEAM LEADER	DATE
JOSHUA WALLACE	DATE
AUTHORISED FOR ISSUE	DATE
	DATE

Suite 1/Level 5, 80 Petrie Terrace, Brisbane QLD 4000
t: +61 7 5129 5719 / f: +61 7 3876 2452
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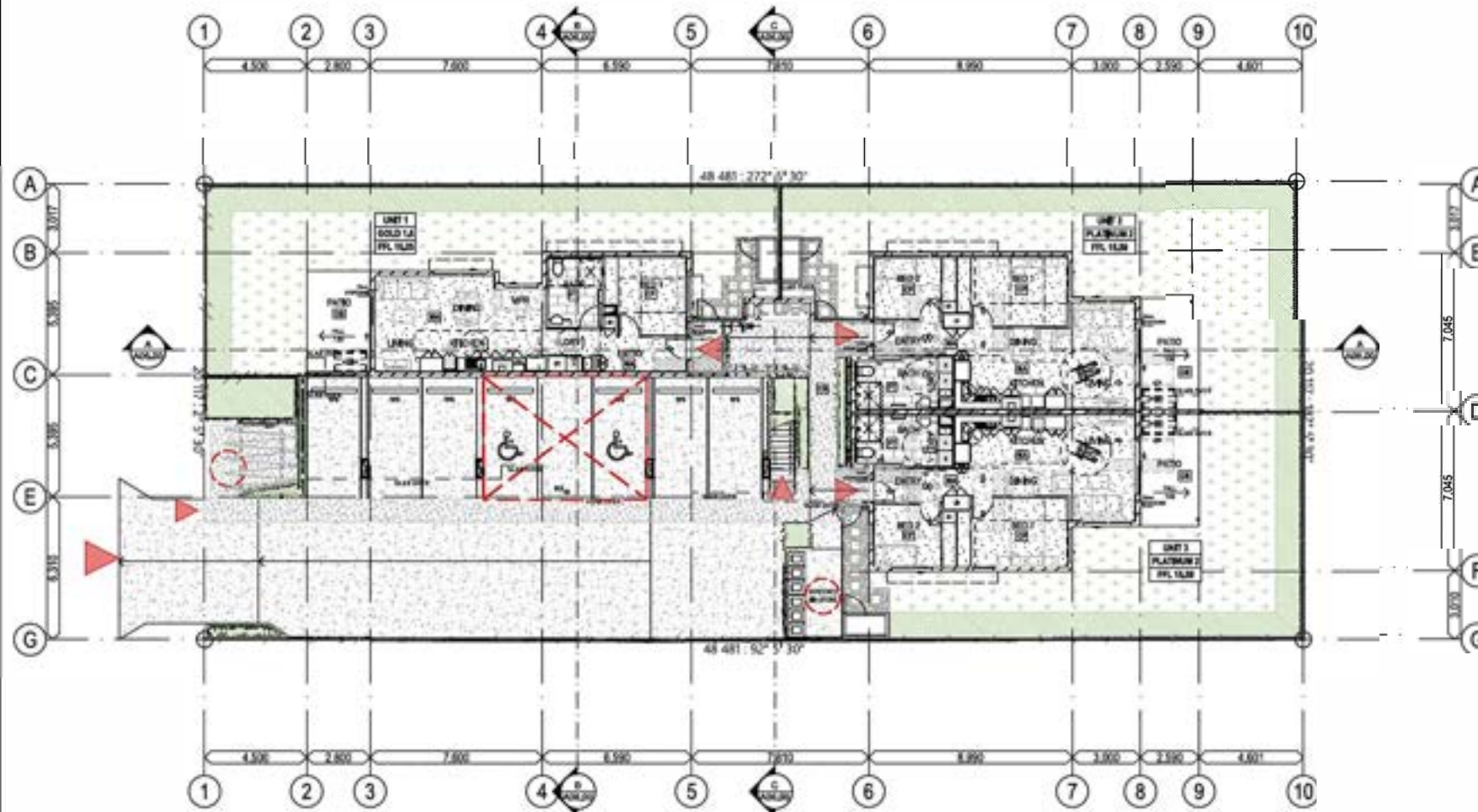
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2 x 2 Bed (Platinum), 1 x 1.5 Bed (Gold),
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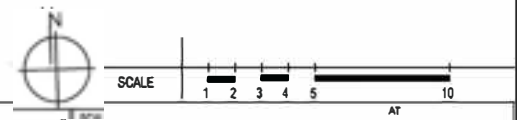
PRIVATE OPEN SPACE PLAN LEVEL 1

SCALE		AT	
1:200, 1:100		A3 SIZE	
MASTER SITE NUMBER		CLIENT REFERENCE NUMBER	
56391		87906PRIN1	
DRAWING NUMBER		ISSUE	SHEET NO
87906/SD/A01.06		P3	6



LEGEND	
BOL	BOLLARD
BR	BROOM CUPBOARD
DR	DRYER
F1	FENCE TYPE 1 - 1.5M HIGH
F2	FENCE TYPE 2 - 1.5M HIGH
	VERTICAL HWD TIMBER BATTEN
	FENCE TO DETAIL, NO LESS THAN 50% TRANSPARENT TO MBRC REQ'S
GB	GARDEN BED
GS	GARDEN SHED
LIN	LINEN CUPBOARD
LP	LIGHTPOLE
MPR	MULTIPURPOSE ROOM
SMH	SEWER MAN HOLE
W	WASHER
WS	WHEEL STOP
CB	CONCRETE BROOM FINISH
CP	CARPET
FT	FLOOR TILE
MA	MAF/MOLEM
	NEW LIGHTWEIGHT PARTITION
	NEW BLOCKWORK WALL
	FENCE TYPE 1 - 1.5M HIGH
	FENCE TYPE 2 - 1.5M HIGH
	WHEELCHAIR TURNING SPACE
	POINT OF ENTRY
	PWD CARPARKS
	PROPOSED FEATURE SHRUB
	PROPOSED FEATURE CLIMBER
	COLOURED CONCRETE
	PROPOSED GARDEN BED
	PROPOSED TURF AREAS
	PROPOSED PAVERS
REFER TO LANDSCAPE ARCHITECT'S DRAWINGS	

1. GROUND LEVEL
Scale 1:200



AMENDMENTS

REV	DATE	BY	DESCRIPTION
1	5/03/2021	DUSTI NCZOK	ISSUE FOR PERMIT

Queensland Government
Department of Communities, Housing and Digital Economy

AG / PD	5/03/2021
DRAWN	DUSTI NCZOK
DATE	5/03/2021
DISCIPLINE / TITLE / NAME	JOSHUA WALLACE
DATE	5/03/2021
AUTHORISED FOR ISSUE	

wallacebrice (architecture)
Suite 1/Level 5, 80 Petrie Terrace, Brisbane QLD 4000
t: +61 7 5129 5215 / f: +61 7 3876 2462
e: wallacebrice@wallacebrice.com.au

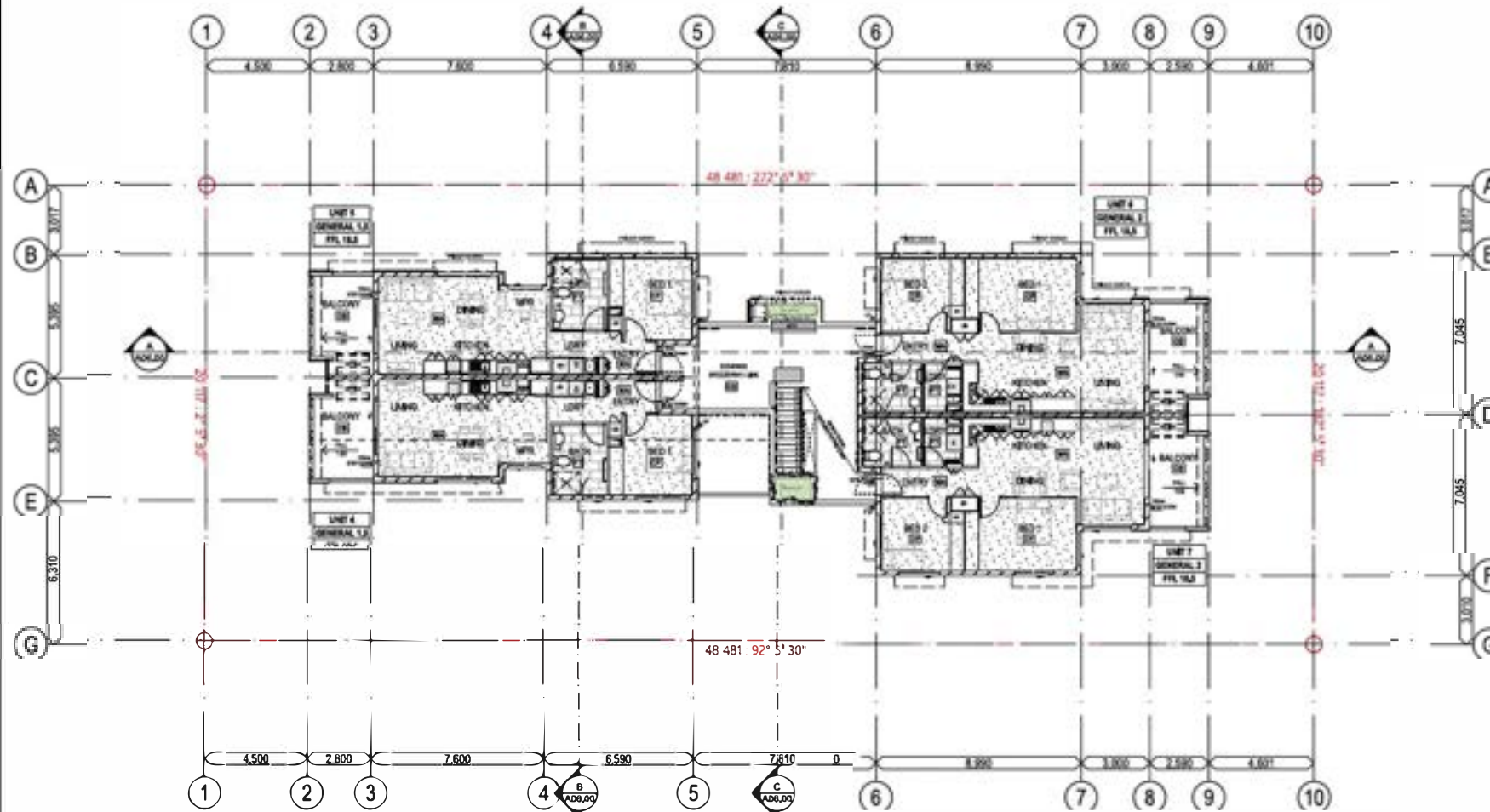
Structural Engineer: Civi | Engineer: Hydraulic Services
ACOR Consultants
Electrical Consultant: Walker & Consulting
Certifier (Building Surveyor) Professional Certification Group
Environmental Consultant: Anderson Energy
Landscape Architect: Laud Ink

SOCIAL HOUSING

7 x Apartments comprising:
2 x 2 Bed (Platinum), 1 x 1.5 Bed (Gold),
2 x 2 Bed (General), 2 x 1.5 Bed (General)

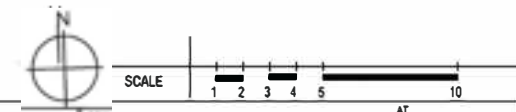
FLOOR PLAN GROUND

1:200, 1:100	A3 SIZE
MASTER SITE NUMBER 56391	CLIENT REFERENCE NUMBER 87906PRIN1
DRAWING NUMBER 87906/PD/A03.01	ISSUE P3
	SHEET NO 7



LEGEND	
BOL	BOLLARD
BR	BROOM CUPBOARD
DR	DRYER
F1	FENCE TYPE 1 - 1.5M HIGH
F2	FENCE TYPE 2 - 1.5M HIGH
	VERTICAL HWD TIMBER BATTEN
	FENCE TO DETAIL, NO LESS THAN 50% TRANSPARENT TO MBRC REQ'S
G8	GARDEN BED
GS	GARDEN SHED
LIN	LINEN CUPBOARD
LP	LIGHTPOLE
MPR	MULTIPURPOSE ROOM
SMH	SEWER MAN HOLE
W	WASHER
WS	WHEEL STOP
CB	CONCRETE BROOM FINISH
CP	CARPET
FT	FLOOR TILE
MA	MAFMOLEUM
	NEW LIGHTWEIGHT PARTITION
	NEW BLOCKWORK WALL
	FENCE TYPE 1 - 1.5M HIGH
	FENCE TYPE 2 - 1.5M HIGH
	WHEELCHAIR TURNING SPACE
	POINT OF ENTRY
	PWD CARPARKS
	PROPOSED FEATURE SHRUB
	PROPOSED FEATURE CLIMBER
	COLOURED CONCRETE
	PROPOSED GARDEN BED
	PROPOSED TURF AREAS
	PROPOSED PAVERS
REFER TO LANDSCAPE ARCHITECT'S DRAWINGS	

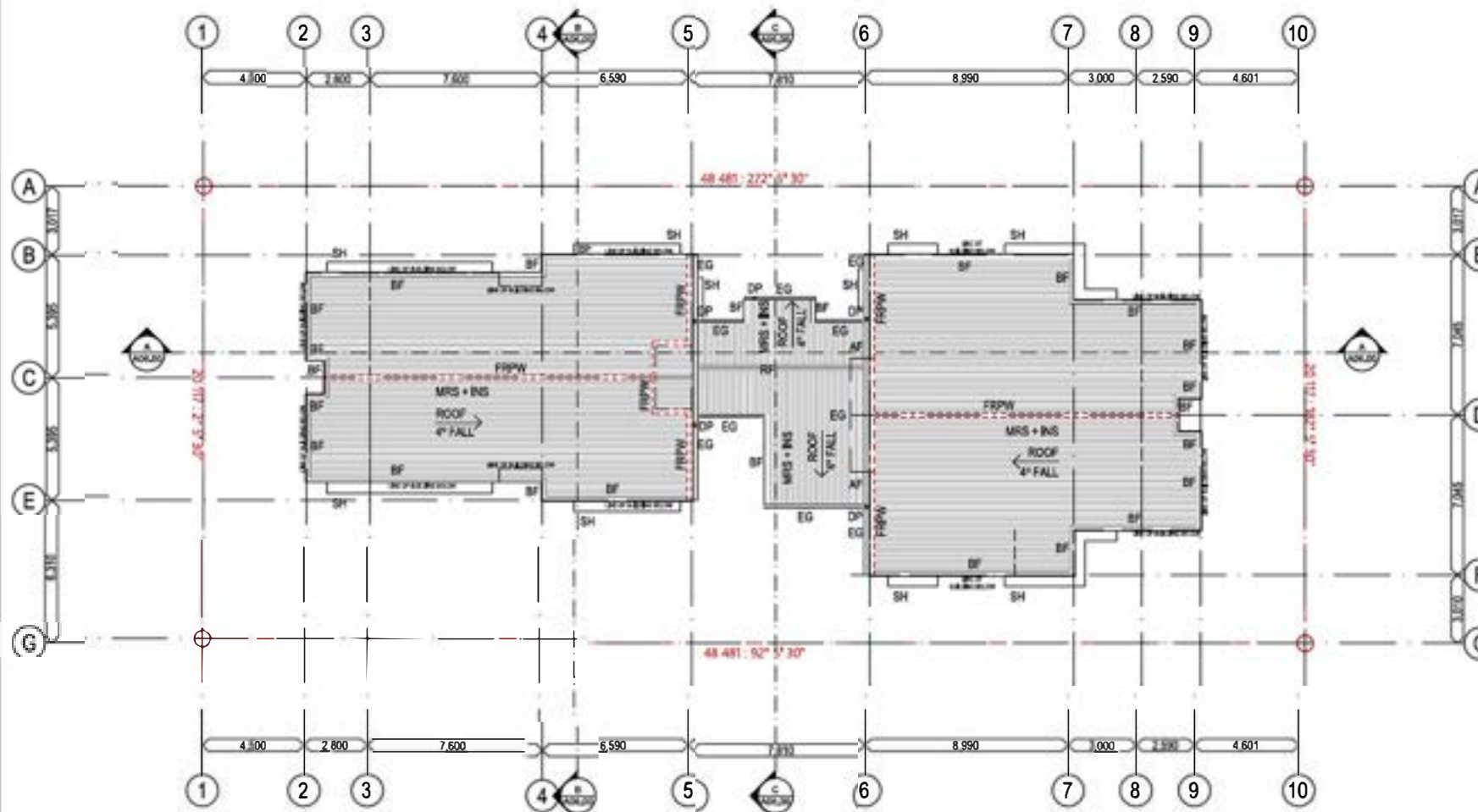
1 FIRST LEVEL
Scale 1:200



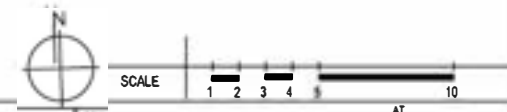
AMENDMENTS			AG / PD		(architecture)		SOCIAL HOUSING	
BSU	DATE	SUBJECT		DATE				
1	04/03/2021	RE-NAME DESCRIPTION		05/03/2021				
DRAWING INDEX SYSTEM			DUSTIN CZOK		7 x Apartments comprising: 2 x 2 Bed (Platinum), 1 x 1.5 Bed (Gold), 2 x 2 Bed (General), 2 x 1.5 Bed (General)			
DISCIPLINE TEAM LEADER			JOSHUA WALLACE		FLOOR PLAN LEVEL 1			
AUTHORISED FOR ISSUE								
DATE			DATE		DATE			
05/03/2021			05/03/2021		05/03/2021			
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05/0								

ROOF PLAN LEGEND

AF	APRON FLASHING
BF	BARGE FLASHING
DP	DOWNPIPE
EG	EAVES GUTTER
FRPW	FIRE RATED PARTYWALL, BLOCKWORK TO EXTEND TO UNDERSIDE OF ROOF SHEETING
MRS + INS	METAL ROOF SHEET + INSULATION
SH	SUNHOOD
RF	RIDGE FLASHING



1 ROOF LEVEL
Scale 1:200



AMENDMENTS

ISSUE DATE SUBJECT

1 14/03/21 RE-DATE DESCRIPTION

2 14/03/21 RE-DATE DESCRIPTION

3 14/03/21 RE-DATE DESCRIPTION

4 14/03/21 RE-DATE DESCRIPTION

5 14/03/21 RE-DATE DESCRIPTION

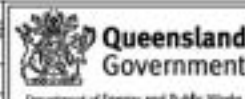
6 14/03/21 RE-DATE DESCRIPTION

7 14/03/21 RE-DATE DESCRIPTION

8 14/03/21 RE-DATE DESCRIPTION

9 14/03/21 RE-DATE DESCRIPTION

10 14/03/21 RE-DATE DESCRIPTION



In behalf of
Department of Communities,
Housing and Digital Economy

XX

5/03/2021

DRAWN
DUSTIN CZOK

DISCIPLINE TEAM LEADER
JOSHUA WALLACE

AUTHORISED FOR ISSUE

5/03/2021

DATE

5/03/2021

DATE

wallacebrice (architecture)

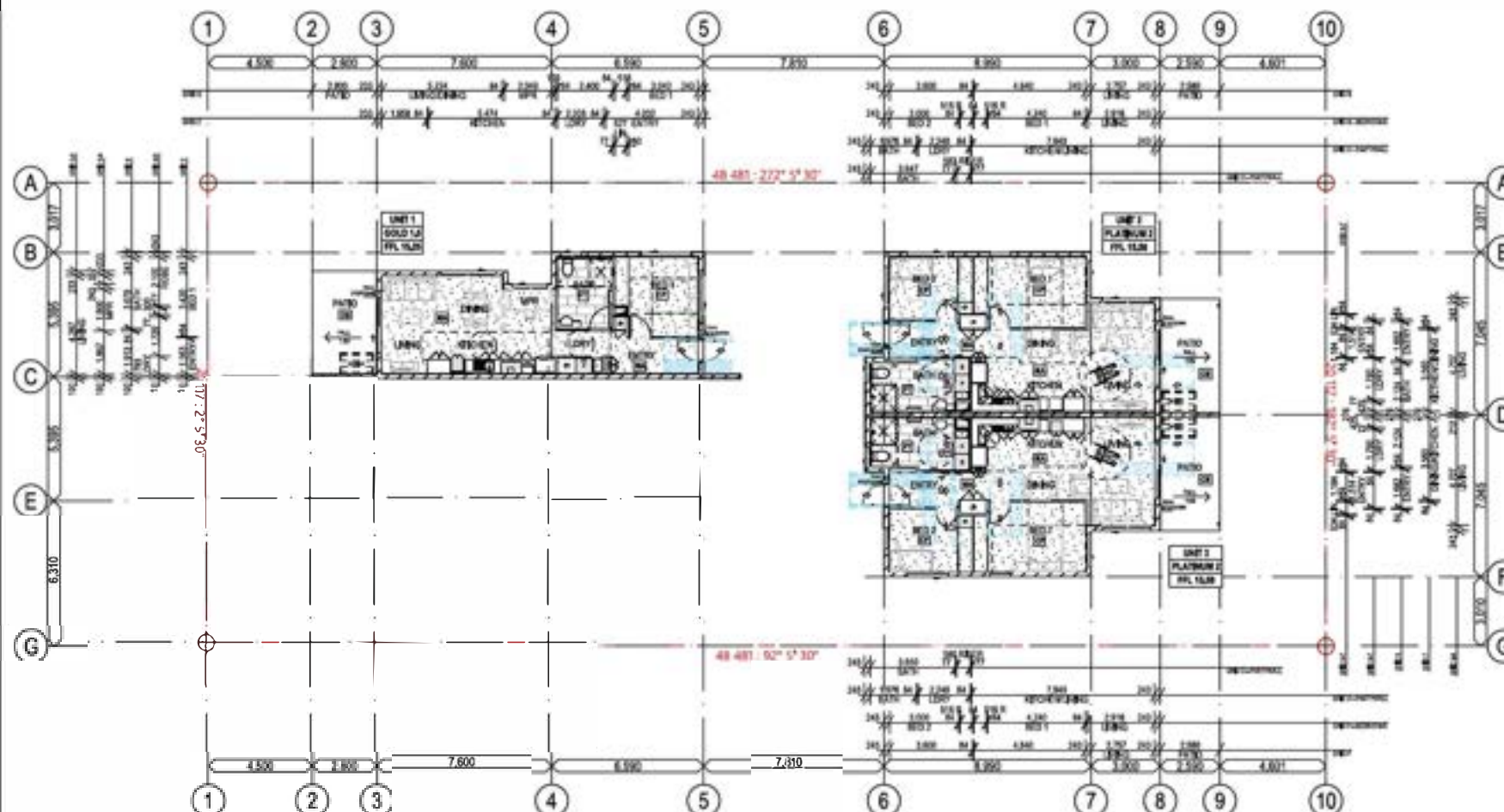
Suite 1/Level 5, 80 Petrie Terrace, Brisbane QLD 4000
t: +61 7 3129 5739 / f: +61 7 3876 2462
© wallacebrice architecture 2018

Structural Engineer: C14 Engineer, Hydraulic Services
ACOR Consultants
Electrical Consultant: Walker & Consulting
Civil Engineer: Professional Certification Group
Environmental Consultant: Anderson Energy
Landscape Architect: Laud Ink

SOCIAL HOUSING

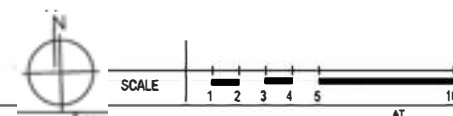
7 x Apartments comprising:
2 x 2 Bed (Platinum), 1 x 1.5 Bed (Gold),
2 x 2 Bed (General), 2 x 1.5 Bed (General)
ROOF PLAN

1:200, 1:50	A3 SIZE
MASTER SITE NUMBER 56391	CLIENT REFERENCE NUMBER 87906PRIN1
DRAWING NUMBER 87906/PD/A03.03	ISSUE P3
	SHEET NO 9



LEGEND	
BOL	BOLLARD
BR	BROOM CUPBOARD
DR	DRYER
F1	FENCE TYPE 1 - 1.8M HIGH
F2	FENCE TYPE 2 - 1.5M HIGH
	VERTICAL HWD TIMBER BATTEN
	FENCE TO DETAIL, NO LESS THAN
	50% TRANSPARENT TO MBRC REQ'S
GB	GARDEN BED
GS	GARDEN SHED
LIN	LINEN CUPBOARD
LP	LIGHTPOLE
MPR	MULTIPURPOSE ROOM
SMH	SEWER MAN HOLE
W	WASHER
WS	WHEEL STOP
CB	CONCRETE BROOM FINISH
CP	CARPET
FT	FLOOR TILE
MA	MARMOLEUM
	NEW LIGHTWEIGHT PARTITION
	NEW BLOCKWORK WALL
	FENCE TYPE 1 - 1.8M HIGH
	FENCE TYPE 2 - 1.5M HIGH
	WHEELCHAIR TURNING SPACE
	POINT OF ENTRY
	PWD CARPARKS
	PROPOSED FEATURE SHRUB
	PROPOSED FEATURE CLIMBER
	COLOURED CONCRETE
	PROPOSED GARDEN BED
	PROPOSED TURF AREAS
	PROPOSED PAVERS
REFER TO LANDSCAPE ARCHITECT'S DRAWINGS	

1. GROUND LEVEL DIM
Scale 1:200



AMENDMENTS

REV	DATE	DESCRIPTION	AUTHOR
1	03/03/2021	NO CHANGE REQUIRED	AW



AG / PD

5/03/2021	DATE
DRAWN	DUSTIN CZOK
DATE	5/03/2021
DISCIPLINE / TITLE NAME	JOSHUA WALLACE
DATE	5/03/2021
AUTHORISED FOR ISSUE	DATE

wallacebrice (architecture)

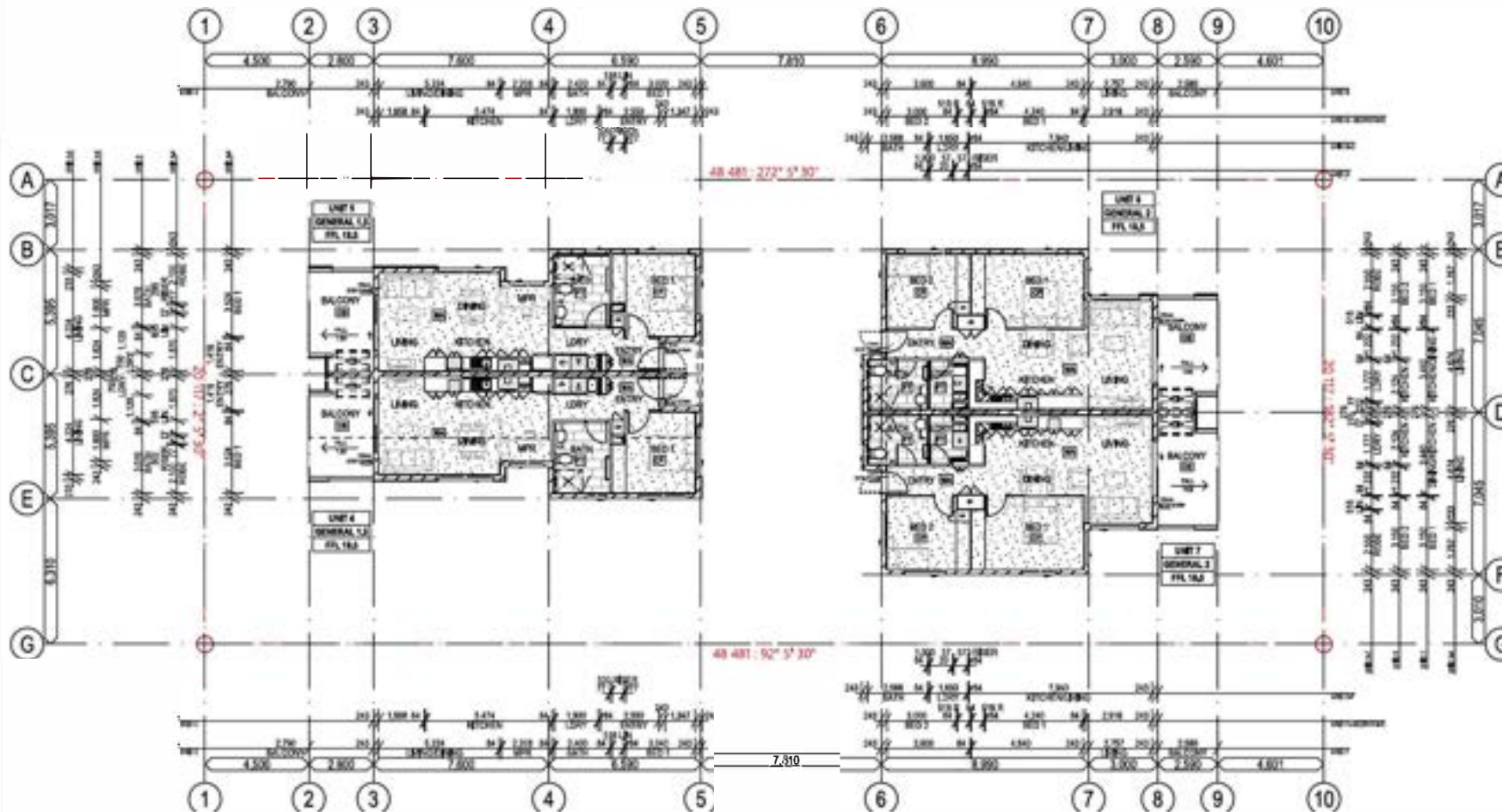
Unit 1/Level 5, 80 petrie terrace, brisbane qld 4000
t: +61 7 5129 5215 / f: +61 7 3076 2452
© wallacebrice architecture 2018

Structural Engineer: Civi Engineers Hydraulic Services
ACOR Consultants
Electrical Consultant: Walker & Consulting
Certifier (Building Surveyor) Professional Certification Group
Environmental Consultant: Anderson Energy
Landscape Architect: Laud Ink

SOCIAL HOUSING

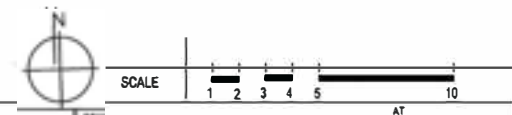
7 x Apartments comprising:
2 x 2 Bed (Platinum), 1 x 1.5 Bed (Gold),
2 x 2 Bed (General), 2 x 1.5 Bed (General)
**FLOOR PLAN GROUND
DIMENSIONED**

1:200, 1:100	A3 SIZE
MASTER SITE NUMBER 56391	CLIENT REFERENCE NUMBER 87906PRIN1
DRAWING NUMBER 87906/PD/A03.04	ISSUE P3
	SHEET NO 10



LEGEND	
BOL	BOLLARD
BR	BROOM CUPBOARD
DR	DRYER
F1	FENCE TYPE 1 - 1.5M HIGH
F2	FENCE TYPE 2 - 1.5M HIGH
	VERTICAL HWD TIMBER BATTEN
	FENCE TO DETAIL, NO LESS THAN
	50% TRANSPARENT TO MBRC REQ'S
GB	GARDEN BED
GS	GARDEN SHED
LIN	LINEN CUPBOARD
LP	LIGHTPOLE
MPR	MULTIPURPOSE ROOM
SMH	SEWER MAN HOLE
W	WASHER
WS	WHEEL STOP
CB	CONCRETE BROOM FINISH
CP	CARPET
FT	FLOOR TILE
MA	MAFMOLEUM
	NEW LIGHTWEIGHT PARTITION
	NEW BLOCKWORK WALL
	FENCE TYPE 1 - 1.5M HIGH
	FENCE TYPE 2 - 1.5M HIGH
	WHEELCHAIR TURNING SPACE
	POINT OF ENTRY
	TWO CARPARKS
	PROPOSED FEATURE SHRUB
	PROPOSED FEATURE CLIMBER
	COLOURED CONCRETE
	PROPOSED GARDEN BED
	PROPOSED TURF AREAS
	PROPOSED PAVERS
REFER TO LANDSCAPE ARCHITECT'S DRAWINGS	

1 FIRST LEVEL DIM
Scale 1:200



AMENDMENTS

BSU/ DATE SUBJECT

1 14/03/21 RE-STATE DESCRIPTION

2 14/03/21 RE-STATE DESCRIPTION

3 14/03/21 RE-STATE DESCRIPTION

4 14/03/21 RE-STATE DESCRIPTION

5 14/03/21 RE-STATE DESCRIPTION

6 14/03/21 RE-STATE DESCRIPTION

7 14/03/21 RE-STATE DESCRIPTION

8 14/03/21 RE-STATE DESCRIPTION

9 14/03/21 RE-STATE DESCRIPTION

10 14/03/21 RE-STATE DESCRIPTION



on behalf of
Department of Communities,
Housing and Digital Economy

AG / PD

5/03/2021

DRAWN

DUSTIN CZOK

DATE

5/03/2021

DISCIPLINE TEAM LEADER

JOSHUA WALLACE

DATE

5/03/2021

AUTHORISED FOR ISSUE

DATE

wallacebrice (architecture)

14/03/2021

14/03/2021

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SOCIAL HOUSING

7 x Apartments comprising:

2 x 2 Bed (Platinum), 1 x 1.5 Bed (Gold),

2 x 2 Bed (General), 2 x 1.5 Bed (General)

FLOOR PLAN LEVEL 1

DIMENSIONED

14/03/2021

14/03/2021

14/03/2021

14/03/2021

14/03/2021

1:200, 1:100

MASTER SITE NUMBER

56391

CLIENT REFERENCE NUMBER

87906PRIN1

DRAWING NUMBER

87906/PD/A03.05

ISSUE

P3

SHEET NO

11

A3 SIZE

14/03/2021

14/03/2021

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14/03/2021

14/03/2021

14/03/2021

14/03/2021

14/03/2021

14/03/2021

LEGEND

BR

BROOM CUPBOARD

DR

DRYER

CT

COOKTOP

F

REFRIGERATOR

UN

LINEN CUPBOARD

OV

OVEN

SHR1

SHOWER SET TYPE 1

SHR2

SHOWER SET TYPE 2

SHR3

SHOWER SET TYPE 3

SK1

SINK TYPE 1

SK2

SINK TYPE 2

VB1

VANITY BASIN 1

VB2

VANITY BASIN 2

WC

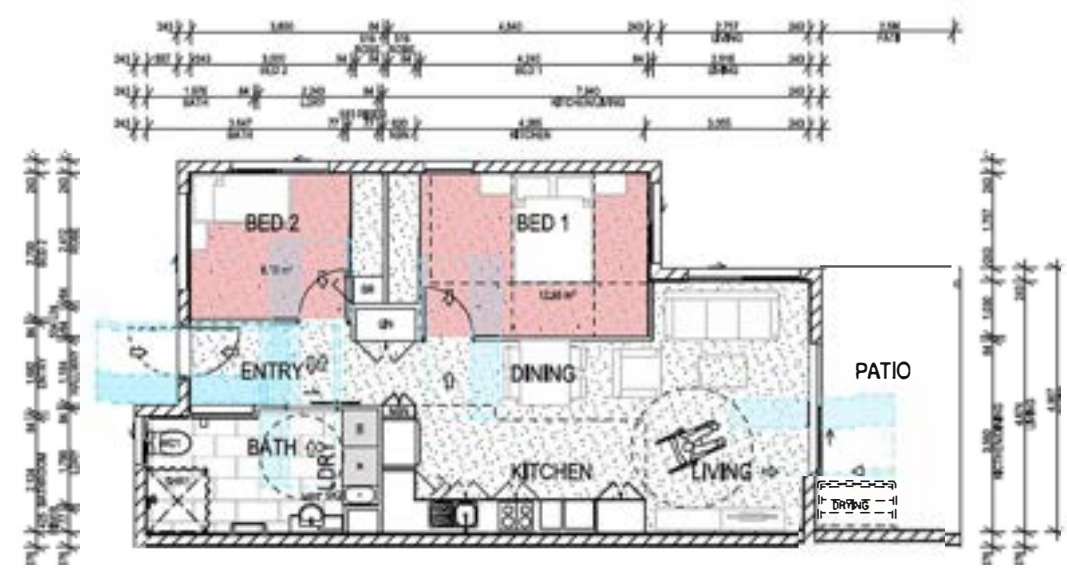
TOILET SUITE

W

WASHER

NEW LIGHTWEIGHT PARTITION

NEW BLOCKWORK WALL



1

APARTMENT TYPE 2 BR (PLATINUM)

Scale 1:100

UNIT 2

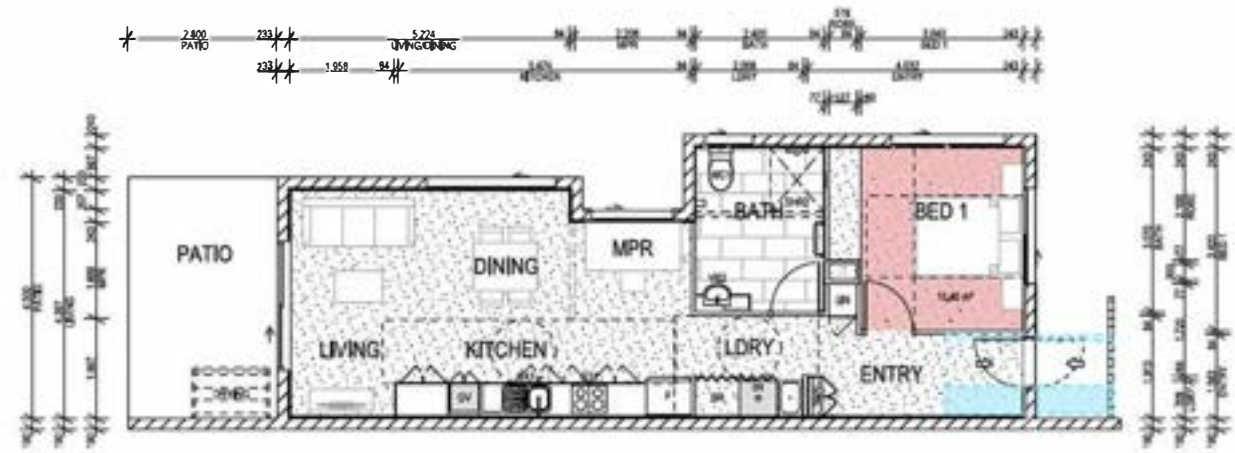
UNIT 3 (MIRRORED)

FLOOR AREAS:

INTERNAL: 72.60 m²

BALCONY: 12.80 m²

TOTAL: 85.40 m²



2

APARTMENT TYPE 1.5 BR (GOLD)

Scale 1:100

UNIT 1

FLOOR AREAS:

INTERNAL: 61.45 m²

BALCONY: 12.60 m²

TOTAL: 74.05 m²



AMENDMENTS		
REVISION	DATE	DESCRIPTION
1	5/03/2021	ISSUED FOR PERMIT
2	5/03/2021	ISSUED FOR PERMIT
3	5/03/2021	ISSUED FOR PERMIT
4	5/03/2021	ISSUED FOR PERMIT
5	5/03/2021	ISSUED FOR PERMIT
6	5/03/2021	ISSUED FOR PERMIT
7	5/03/2021	ISSUED FOR PERMIT
8	5/03/2021	ISSUED FOR PERMIT
9	5/03/2021	ISSUED FOR PERMIT
10	5/03/2021	ISSUED FOR PERMIT

Queensland

GOVERNMENT

Department of Communities, Housing and Digital Economy

XX

5/03/2021

drawn

DUSTIN CZOK

DATE

5/03/2021

DISCIPLINE TEAM LEADER

JOSHUA WALLACE

DATE

5/03/2021

AUTHORISED FOR ISSUE

5/03/2021

5/03/2021

5/03/2021

wallacebrice

(architecture)

Site 1/level 5, 80 petrie terrace, brisbane qld 4000

t: +61 7 5129 5719 / f: +61 7 3876 2462

© wallacebrice architecture 2018

Structural Engineer, Civil Engineer, Hydraulic Services

ACOR Consultants

Electrical Consultant Walker&B Consulting

Certifier (Building Surveyor) Professional Certification Group

Environmental Consultant Anderson Energy

Landscape Architect Laud Ink

SOCIAL HOUSING

7 x Apartments comprising:

2 x 2 Bed (Platinum), 1 x 1.5 Bed (Gold),

2 x 2 Bed (General), 2 x 1.5 Bed (General)

TYPICAL LAYOUT PLATINUM & GOLD

SCALE

1:100

A3 SIZE

MASTER SITE NUMBER

56391

CLIENT REFERENCE NUMBER

87906PRIN1

DRAWING NUMBER

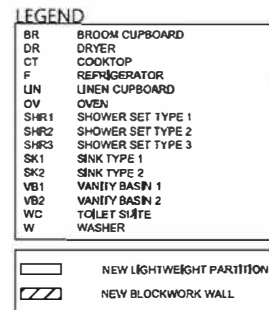
87906/PD/A03.06

ISSUE

P3

SHEET NO

12



UNIT 6	FLOOR AREAS:	INTERNAL: 72.60 m ²
UNIT 7 (MIRRORED)		BALCONY: 12.00 m ²
		TOTAL: 84.60 m ²

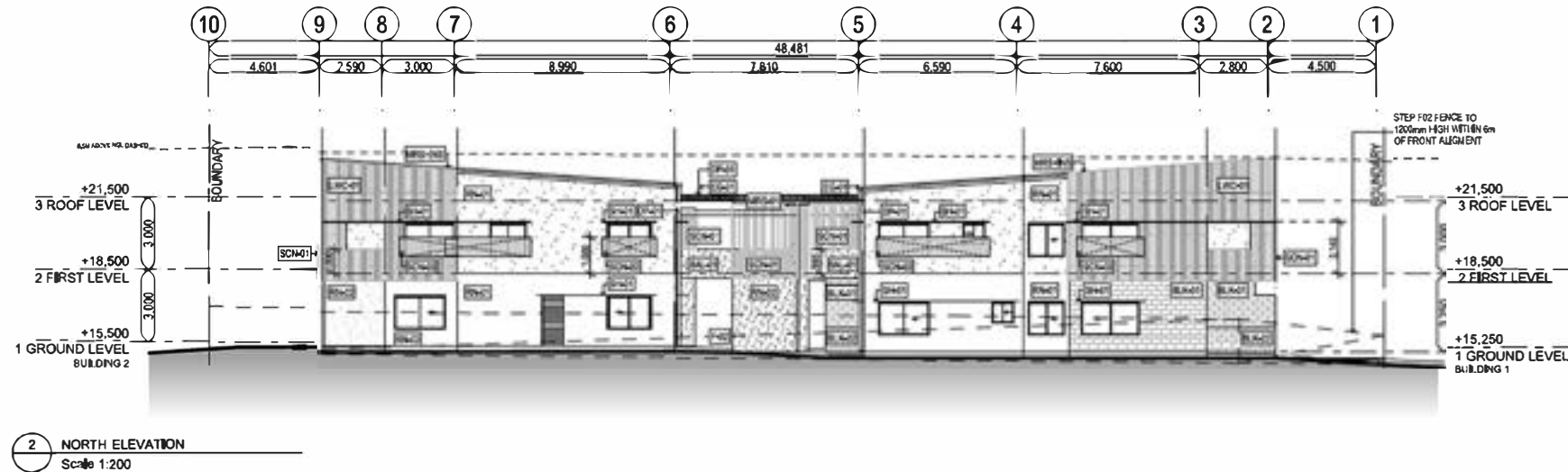
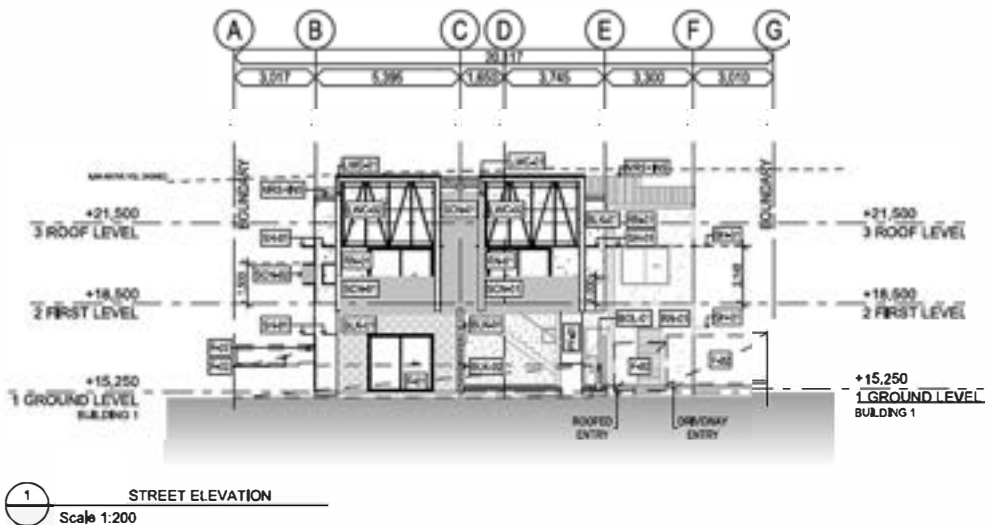


UNIT 4 (MIRRORED)	FLOOR AREAS:	INTERNAL: 59.05 m ²
UNIT 5		BALCONY: 12.10 m ²
		TOTAL: 71.15 m ²

SCALE		AT	
1:100		A3 SIZE	
MASTER SITE NUMBER		CLIENT REFERENCE NUMBER	
56391		87906PRIN1	
DRAWING NUMBER		ISSUE	SHEET NO.
87906/PD/A03.07		P3	13

LEGEND

BAL-01	BALUSTRADE TYPE 1
BLK-01	POWDERCOATED VERTICAL ALUMINIUM BATTEN BALUSTRADE BLOCKWORK TYPE 1
BLK-02	POWDERCOATED VERTICAL ALUMINIUM BATTEN BALUSTRADE BLOCKWORK TYPE 2
BOL-01	SMOOTH FACE BLOCK (WHITE)
COMC-01	SMOOTH FACE BLOCK (CHARCOAL)
DP-01	BOLLARD TYPE 1
EG-01	CONCRETE TYPE 1
F-01	COLORBOND DOWNPIPE
F-02	COLORBOND EAVES GUTTER
LWC-01	TIMBER FENCE TYPE 1
LWC-02	1500mm HEIGHT
MRS-01	TIMBER FENCE TYPE 2
RN-01	1800mm HEIGHT
RN-02	GROOVED FIBRE CEMENT CLADDING
SCN-01	PANT FINISH
SCN-02	LIGHTWEIGHT CLAD TYPE 2
SH-01	TRANSLUCENT FIBREGLASS SCREEN FIXED TO ALUMINIUM SUBFRAME
	METAL ROOF SHEETING TYPE 1
	PROFILED COLORBOND
	RENDER TYPE 1
	CONCRETE RENDER (SMOOTH)
	RENDER TYPE 2
	CONCRETE RENDER (ROUGH)
	PANT FINISH
	SCREEN TYPE 1
	VERTICAL RHS POWDERCOATED ALUMINIUM SCREEN TO DETAIL
	SCREEN TYPE 2
	POWDERCOATED PERFORATED ALUMINIUM SCREEN TO DETAIL
	SUNHOOD TYPE 1
	PROPRIETARY FOLDED POWDERCOATED ALUMINIUM SUNHOOD



AMENDMENTS

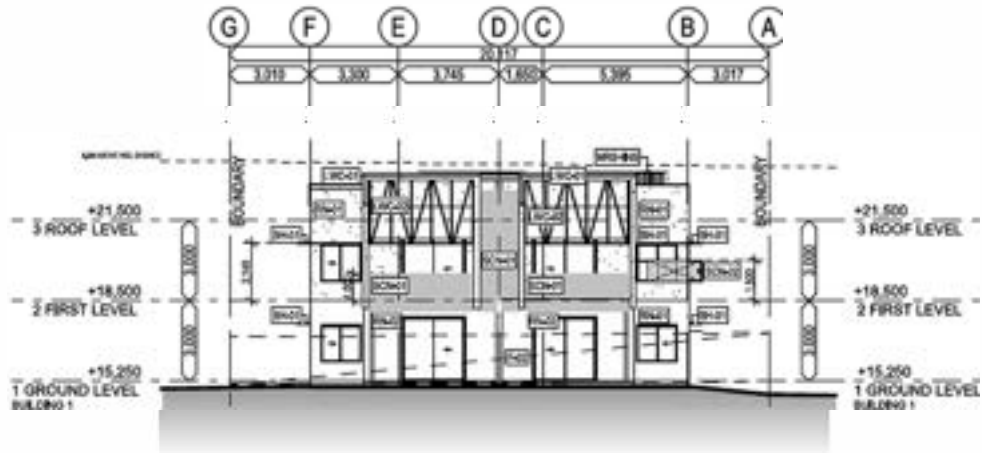
REV	DATE	REVISION
1	5/03/2021	ISSUE FOR PERMIT

DRAWING INDEX SYSTEM

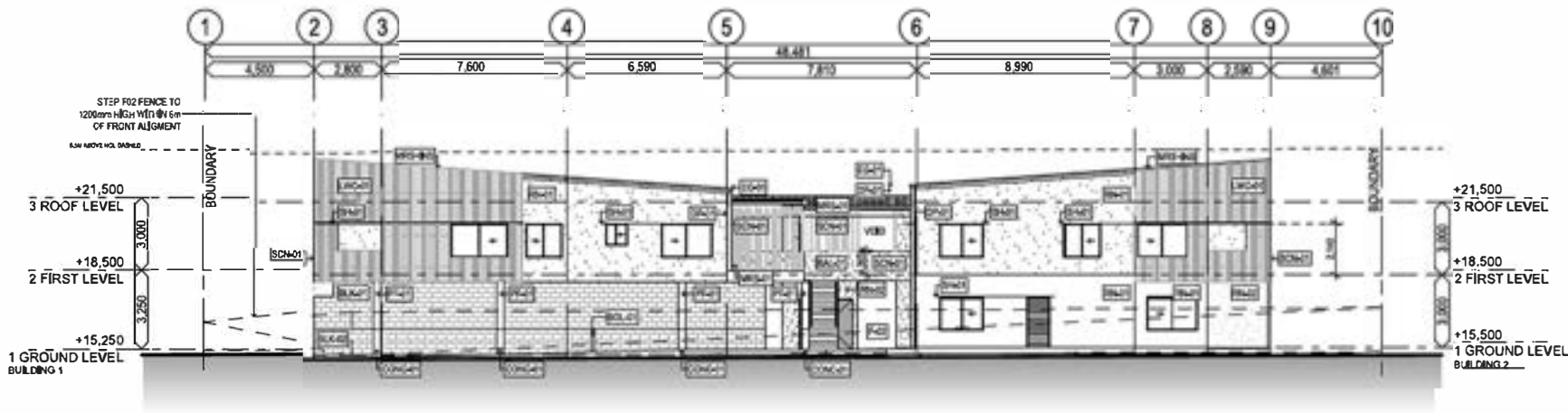
1	FOUNDATION PLAN
2	FLOORING PLAN
3	ROOF PLAN
4	WALL PLAN
5	SCREEN PLAN
6	ROOF PLAN
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570	ROOF PLAN

LEGEND

BAL-01	BALUSTRADE TYPE 1
BLK-01	POWDERCOATED VERTICAL ALUMINUM BATTEN BALUSTRADE
BLK-02	BLOCKWORK TYPE 1
BLK-03	SMOOTH FACE BLOCK (WHITE)
BLK-04	BLOCKWORK TYPE 2
BLK-05	SMOOTH FACE BLOCK (CHARCOAL)
BOL-01	BOLLARD TYPE 1
CONC-01	CONCRETE TYPE 1
DP-01	COLORBOND DOWNPIPE
EG-01	COLORBOND EAVES GUTTER
F-01	TIMBER FENCE TYPE 1
F-02	1500mm HEIGHT
F-03	TIMBER FENCE TYPE 2
LWC-01	1800mm HEIGHT
LWC-02	LIGHTWEIGHT CLAD TYPE 1
LWC-03	GROOVED FIBRE CEMENT CLADDING
LWC-04	PAINT FINISH
LWC-05	LIGHTWEIGHT CLAD TYPE 2
LWC-06	TRANSLUCENT FIBREGLASS SCREEN
LWC-07	FIXED TO ALUMINUM SUBFRAME
MRS-01	METAL ROOF SHEETING TYPE 1
RA-01	PROFILED COLORBOND
RA-02	RENDER TYPE 1
RA-03	CONCRETE RENDER (SMOOTH)
RA-04	PAINT FINISH
RA-05	RENDER TYPE 2
RA-06	CONCRETE RENDER (ROUGH)
RA-07	PAINT FINISH
SCN-01	SCREEN TYPE 1
SCN-02	VERTICAL RIS POWDERCOATED ALUMINUM SCREEN TO DETAIL
SCN-03	SCREEN TYPE 2
SCN-04	POWDERCOATED PERFORATED ALUMINUM SCREEN TO DETAIL
SH-01	SUNHOOD TYPE 1
SH-02	PROPRIETARY FOLDED POWDERCOATED ALUMINUM SUNHOOD



1 EAST ELEVATION
Scale 1:200



2 SOUTH ELEVATION
Scale 1:200

AMENDMENTS

REV	DATE	REVISION
1	03/03/2021	ISSUE FOR PERMIT

DRAWING INDEX SYSTEM

1	FOUNDATION PLAN	1	FOUNDATION DETAIL
2	FLOORING PLAN	2	SLAB DETAIL
3	ROOF PLAN	3	ROOF DETAIL
4	WALL PLAN	4	WALL DETAIL
5	DOOR PLAN	5	DOOR DETAIL
6	WINDOW PLAN	6	WINDOW DETAIL
7	STAIR PLAN	7	STAIR DETAIL
8	SECTION	8	SECTION DETAIL
9	DETAIL	9	DETAIL DETAIL

**Queensland Government**
Department of Communities, Housing and Digital Economy

wallacebrice (architecture)

5/03/2021
DRAWN: DUSTIN CZOK
DATE: 5/03/2021
CHECKED: JOSHUA WALLACE
DATE: 5/03/2021
AUTHORISED FOR ISSUE: JOSHUA WALLACE
DATE: 5/03/2021

1/Level 5, 80 Petrie Terrace, Brisbane QLD 4000
t: +61 7 3129 5215 / f: +61 7 3076 2462
e: wallacebrice@wallacebrice.com.au

Structural Engineer: Civil Engineer, Hydraulic Services
ACOR Consultants
Electrical Consultant: Walker&Baird Consulting
Certifier (Building Surveyor) Professional Certification Group
Environmental Consultant: Anderson Energy
Landscape Architect: Laud Ink

SOCIAL HOUSING

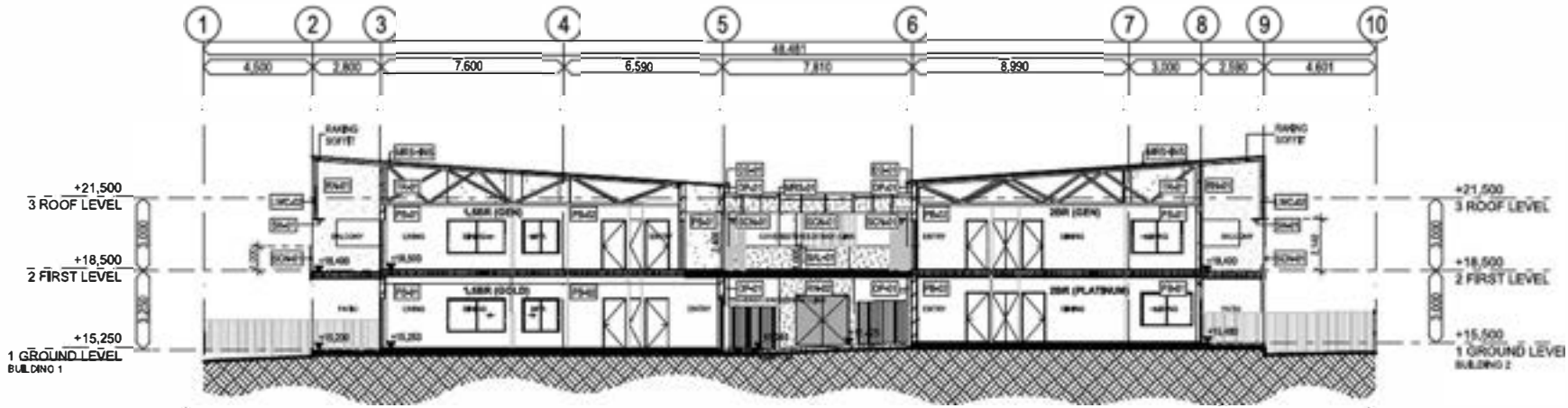
7 x Apartments comprising:
2 x 2 Bed (Platinum), 1 x 1.5 Bed (Gold),
2 x 2 Bed (General), 2 x 1.5 Bed (General)

ELEVATIONS

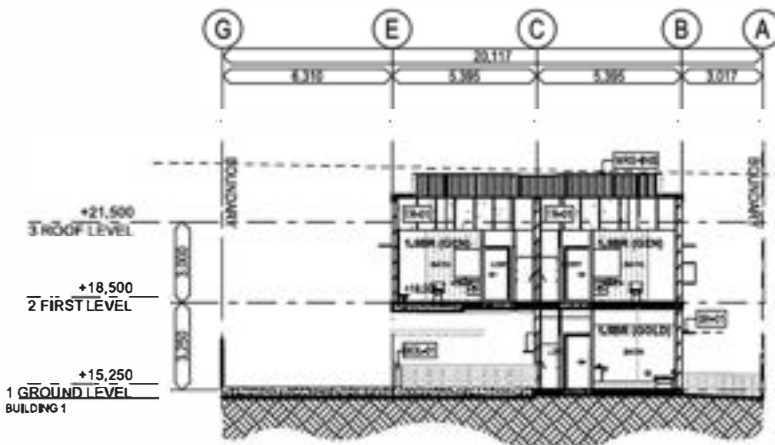
SCALE		AT	
1:200, 1:50		A3 SIZE	
MASTER SITE NUMBER		CLIENT REFERENCE NUMBER	
56391		87906PRIN1	
DRAWING NUMBER		ISSUE	SHEET NO
87906/ /A05.02		P3	15

LEGEND

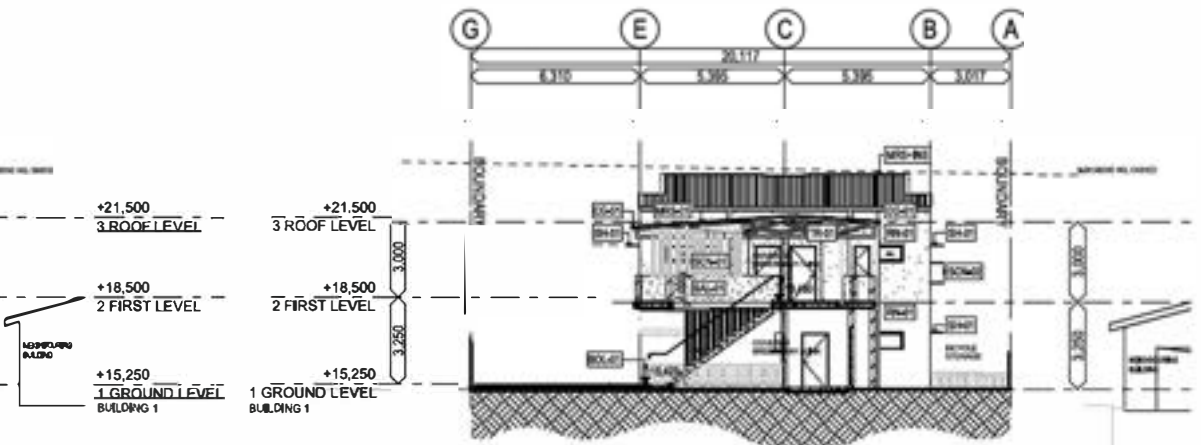
BAL-01	BALUSTRADE TYPE 1
BOL-01	BOLLARD TYPE 1
DA-01	DOWPIPE TYPE 1
EQ-01	EAVES GUTTER TYPE 1
LWC-01	LIGHTWEIGHT CLAD TYPE 1
MRS-01	METAL ROOF SHEETING TYPE 1
PB-01	PLASTERBOARD TYPE 1
PB-02	PLASTERBOARD TYPE 2
RN-01	RENDER TYPE 1
RN-02	RENDER TYPE 2
SCN-01	SCREEN TYPE 1
SCN-02	SCREEN TYPE 2
SH-01	SUNHOOD TYPE 1
TR-01	TRUSS TYPE 1



A SECTION
Scale 1:200



B SECTION
Scale 1:200



C SECTION
Scale 1:200

AMENDMENTS

NO.	DATE	SUBJECT
1	14/03/2021	REVISED DESCRIPTION

DRAWING INDEX SYSTEM	
1	FOUNDATION/POORING PLAN
2	FLOOR/SLAB FINISHES PLAN
3	ROOF/CEILING FINISHES PLAN
4	SLAB REINFORCEMENT PLAN
5	WALL PLAN
6	CEILING/PLASTER/DETAILS
7	ROOF PLANS/DETAILS
8	STRUCTURAL/DETAILS
9	STAIRCASES
10	FOUNDATION/POORING DETAILS
11	SLAB DETAILS
12	WALL/CEILING DETAILS
13	CONCRETE COLUMN DETAILS
14	ROOF BRACING DETAILS
15	WALL BRACING DETAILS
16	ROOF DETAILS
17	STAIRCASE DETAILS

Queenland Government
Department of Communities, Housing and Digital Economy

DRAWN	DATE
DUSTIN CZOK	5/03/2021
DISCIPLINE TEAM LEADER	DATE
JOSHUA WALLACE	5/03/2021
AUTHORISED FOR ISSUE	DATE
	5/03/2021

wallacebrice (architecture)
Suite 1/level 5, 80 patric terrace, Brisbane qld 4000
t: +61 7 3129 5715 / f: +61 7 3876 2462
e: info@wallacebrice.com.au
Structural Engineer: Hydraulic Services
ACOR Consultants
Electrical Consultant: Walker&S Consulting
Certifier (Building Surveyor) Professional Certification Group
Environmental Consultant: Anderson Energy
Landscape Architect: Laud Ink

SOCIAL HOUSING
7 x Apartments comprising:
2 x 2 Bed (Platinum), 1 x 1.5 Bed (Gold),
2 x 2 Bed (General), 2 x 1.5 Bed (General)
SECTIONS

SCALE		AT	
1:200, 1:50		A3 SIZE	
MASTER SITE NUMBER		CLIENT REFERENCE NUMBER	
56391		87906PRIN1	
DRAWING NUMBER		ISSUE	SHEET NO.
87906/ /A06.00		P3	17



3D CONCEPT STREET VIEW



3D CONCEPT BREEZEWAY



3D CONCEPT AERIAL VIEW



3D CONCEPT AERIAL VIEW

AMENDMENTS

REV	DATE	REVISION	AUTHOR
1	5/03/2021	REVISED DESCRIPTION	AW

DRAWING INDEX SYSTEM	
1	FOURTH FLOOR PLAN
2	FLOOR PLAN
3	GROUND FLOOR PLAN
4	SLAB REINFORCEMENT PLAN
5	WALL PLAN
6	ROOF PLAN
7	STRUCTURAL DETAILS
8	LANDSCAPE PLAN
9	SECTION
10	DETAILS



5/03/2021	DATE	5/03/2021	DATE
DRAWN	DUSTI NCZOK	DISCIPLINE / TITLE	JOSHUA WALLACE
DATE	5/03/2021	DATE	5/03/2021
AUTHORISED FOR ISSUE		DATE	

wallacebrice (architecture)

Suite 1/level 5, 80 petrie terrace, Brisbane qld 4000
t: +61 7 5129 5215 / f: +61 7 5076 2462
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Structural Engineer: Civil Engineer: Hydraulic Services
ACOR Consultants
Electrical Consultant: Walker & Consulting
Certifier (Building Surveyor) Professional Certification Group
Environmental Consultant: Anderson Energy
Landscape Architect: Laud Ink

SOCIAL HOUSING

7 x Apartments comprising:
2 x 2 Bed (Platinum), 1 x 1.5 Bed (Gold),
2 x 2 Bed (General), 2 x 1.5 Bed (General)

3D VIEWS

SCALE		AT	
		A3 SIZE	
MASTER SITE NUMBER		CLIENT REFERENCE NUMBER	
56391		87906PRIN1	
DRAWING NUMBER		ISSUE	SHEET NO
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